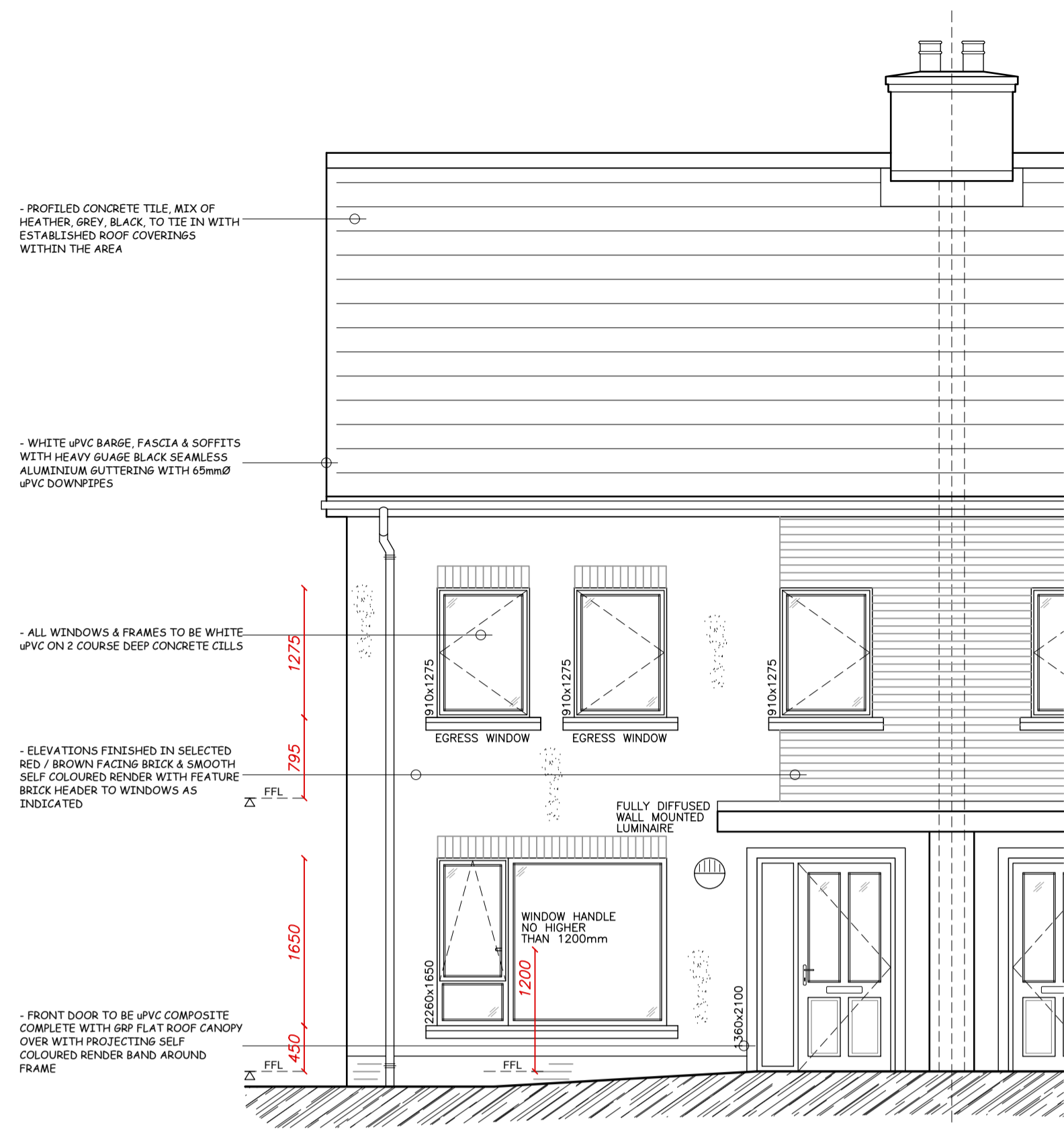
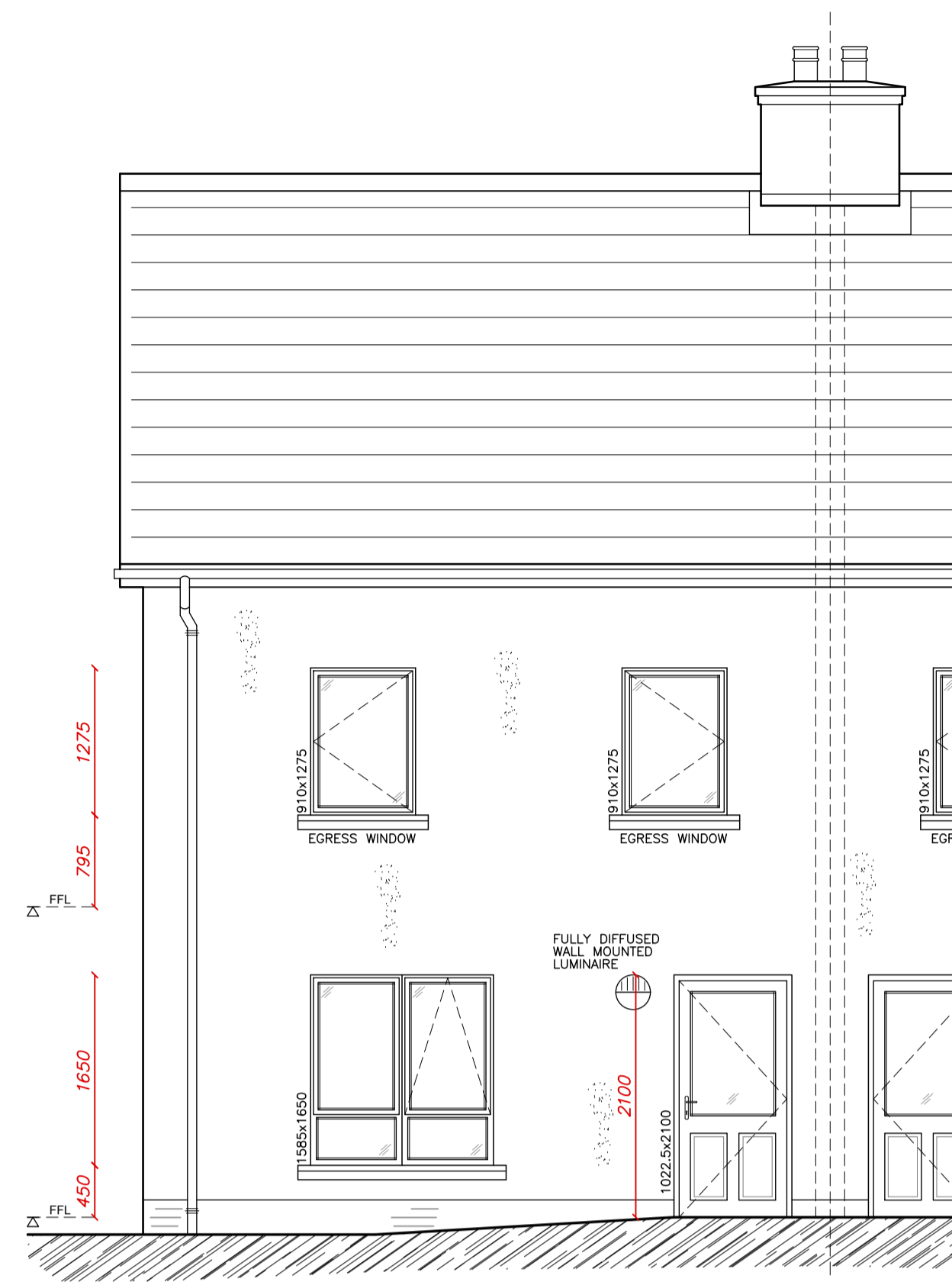


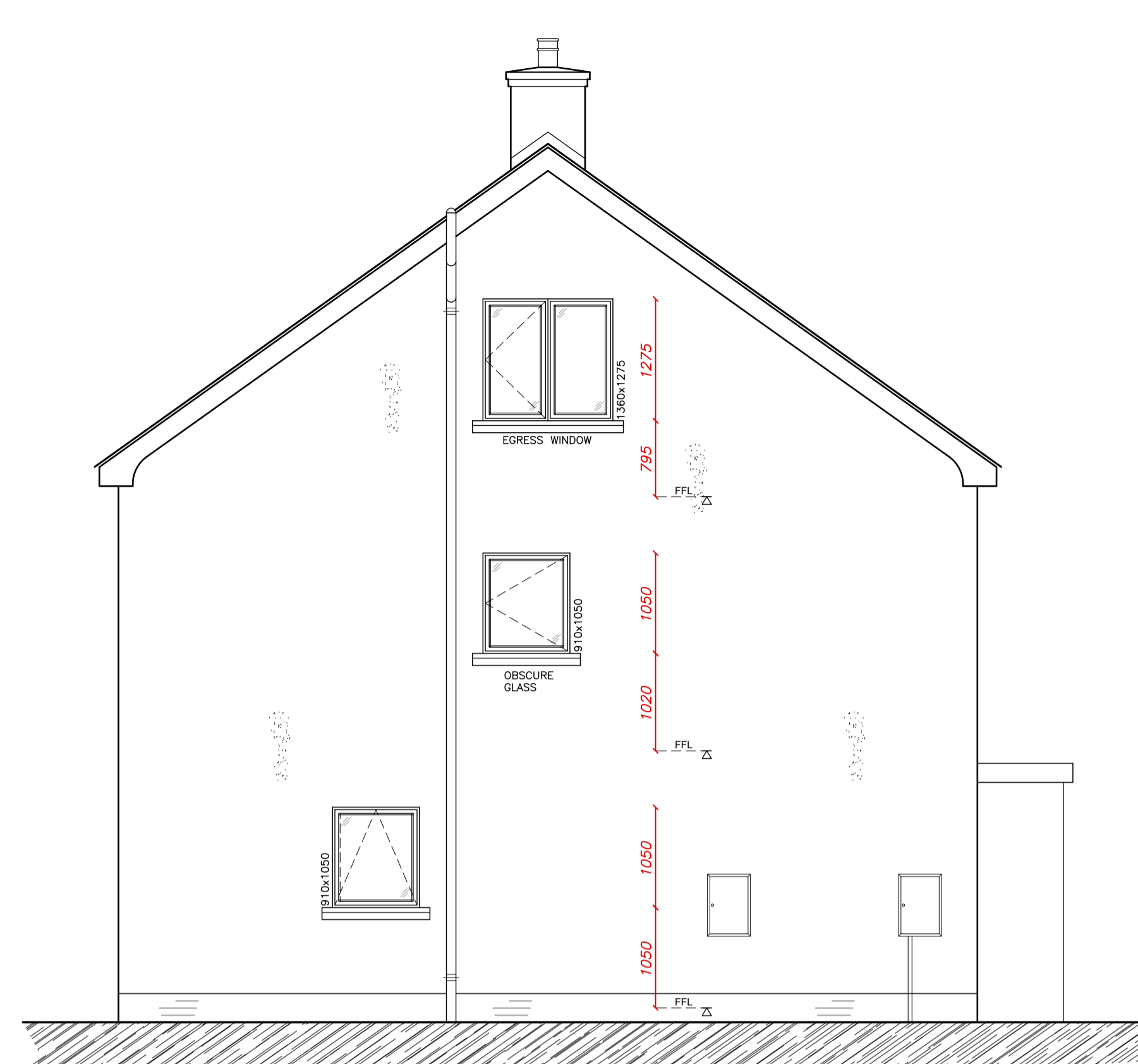
<b>- HOUSE TYPE "F1" -</b>	
6 Person - 4 Bedroom Semi-Detached	
Area Band For Size Of Dwelling = 105 / 110m <sup>2</sup>	
Ground Floor = 46.41m <sup>2</sup>	First Floor = 46.41m <sup>2</sup>
Second Floor = 23.23m <sup>2</sup>	
TOTAL Gross Floor Area = 116.05m <sup>2</sup>	



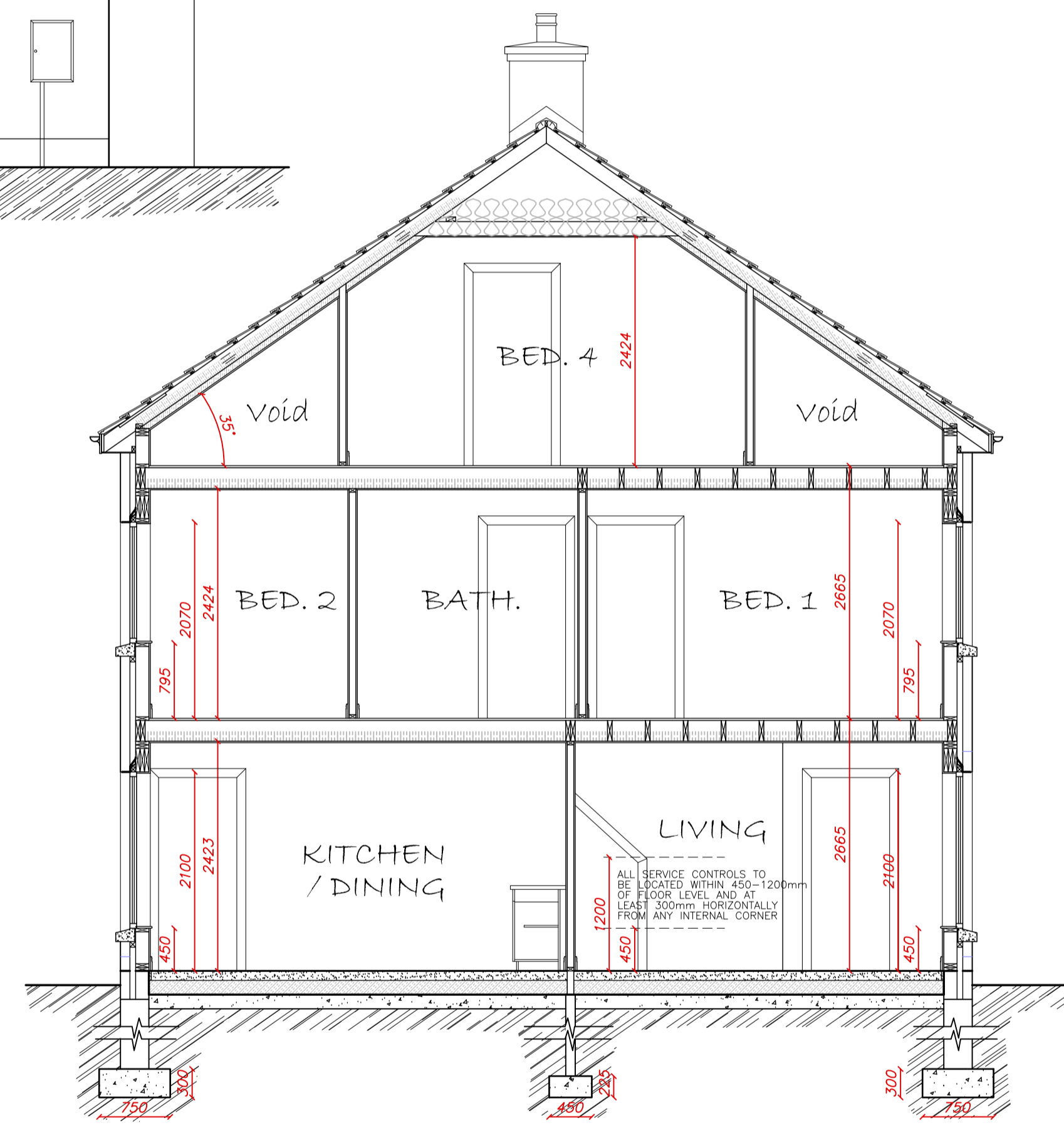
**Proposed Front Elevation**  
Scale:- 1-50



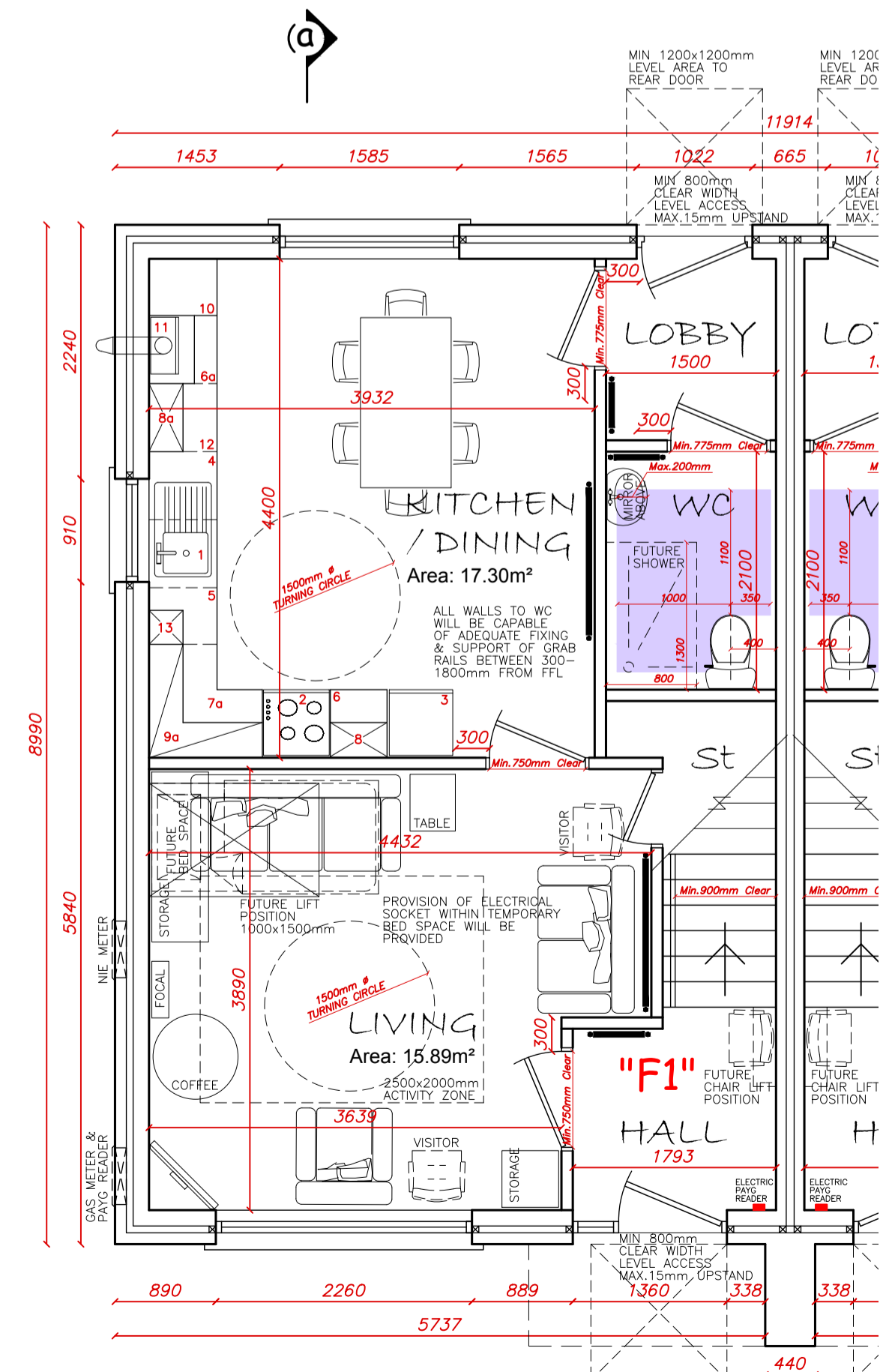
**Proposed Rear Elevation**  
Scale:- 1-50



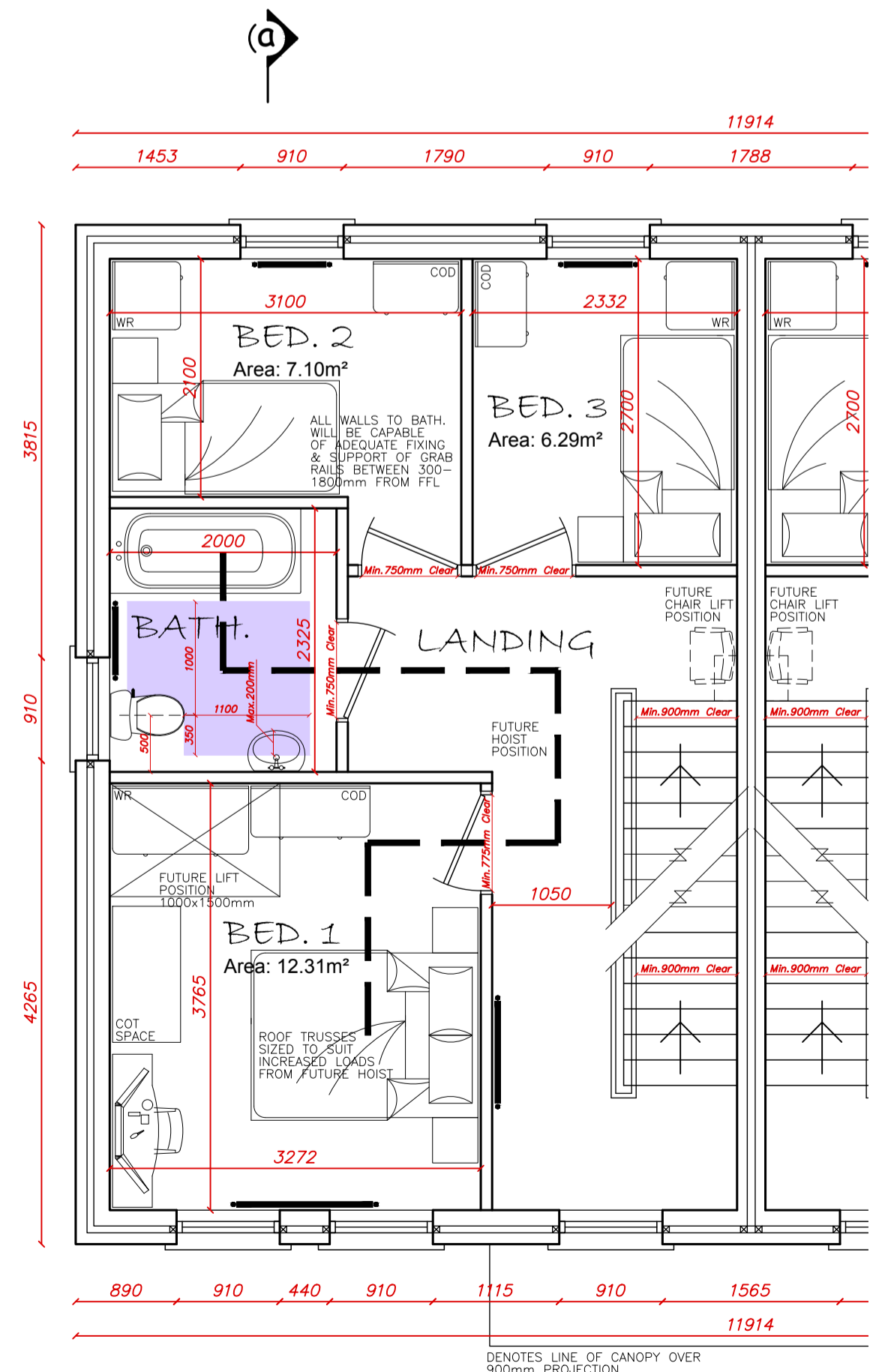
**Proposed Side Elevation**  
Scale:- 1-50



**Proposed Section A-A**  
Scale:- 1-50

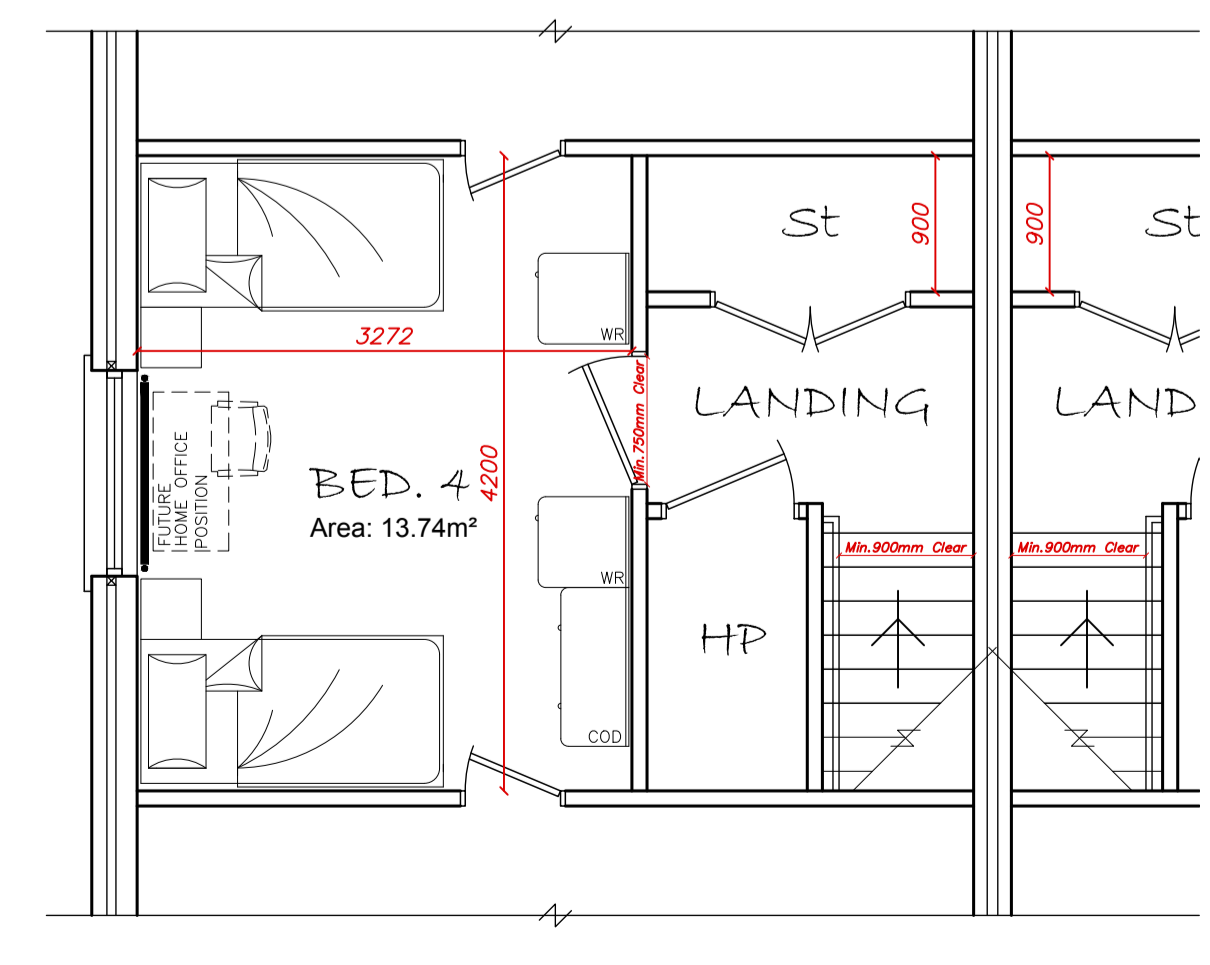


**Ground Floor Plan**  
Scale:- 1-50



**First Floor Plan**  
Scale:- 1-50

DESIGN CRITERIA	PRINCIPAL REQUIREMENTS	ACHIEVED	COMMENTS
1 CAR PARKING WIDTH	AT LEAST ONE SPACE PER PLOT CAPABLE OF ENLARGEMENT TO 3.3M WIDE	YES	REFER TO SITE PLAN DRAWING
2 APPROACH FROM CAR PARKING	PRINCIPLE APPROACH ROUTE PREFERABLY BE LEVEL FROM CAR PARKING	NO	NOT POSSIBLE DUE TO LAND TOPOGRAPHY
3 APPROACH TO ALL ENTRANCES	APPROACH TO ALL ENTRANCES PREFERABLY BE LEVEL	YES	REFER TO SITE PLAN DRAWING
4 ENTRANCES	BE ILLUMINATED, LEVEL ACCESS THRESHOLD, CLEAR OPENING WIDTHS, ADEQUATE WEATHER PROTECTION AND LEVEL EXTERNAL LANDING	YES	-
5 COMMUNAL STAIRS & LIFTS	NOT APPLICABLE TO THIS DWELLING TYPE	-	-
6 INTERNAL DOORWAYS & HALLWAYS	REQUIRED DOOR & HALLWAY WIDTHS SHOWN	YES	-
7 CIRCULATION SPACE	REQUIRED WHEELCHAIR TURNING CIRCLES SHOWN	YES	-
8 ENTRANCE LEVEL LIVING SPACE	REQUIRED ENTRANCE LEVEL LIVING SPACE SHOWN	YES	-
9 ENTRANCE LEVEL BED-SPACE	REQUIRED ENTRANCE LEVEL BED-SPACE SHOWN	YES	-
10 ENTRANCE LEVEL WC & SHOWER DRAINAGE	REQUIRED ENTRANCE LEVEL WC & SHOWER DRAINAGE SHOWN	YES	-
11 WC & BATHROOM WALLS	CONFIRMATION OF REINFORCEMENT TO WALLS FOR FIXINGS	YES	-
12 STAIR LIFT & THROUGH FLOOR LIFTS	REQUIRED SPACE FOR FUTURE STAIR LIFT & THROUGH FLOOR LIFTS SHOWN	YES	-
13 TRACKING HOIST ROUTES	REQUIRED FUTURE HOIST ROUTES SHOWN	YES	-
14 BATHROOM LAYOUTS	REQUIRED BATHROOM LAYOUTS SHOWN	YES	-
15 WINDOW SPECIFICATION	REQUIRED DIMENSIONS / SPECIFICATION SHOWN	YES	-
16 LOCATION OF SERVICE CONTROLS	REQUIRED HEIGHTS OF SERVICE CONTROLS SHOWN	YES	-



**Second Floor Plan**  
Scale:- 1-50

UNIT	DESCRIPTION	MIN. REQ.	PROVIDED	COMMENTS
1	600x1000 SINK TOP DRAINER / STORAGE	1	0	1No. BASE UNIT (6a) PROVIDED UNDER SINK
2	600x600 COOKER SPACE	1	1	
3	600x600 FRIDGE / FREEZER SPACE	1	1	
4	600x650 WASHING MACHINE SPACE	1	1	LOCATED UNDER SINK DRAINER
5	600x500 FOUR DRAWER UNIT	1	1	
6	600x500 SINGLE BASE UNIT	1	1	
7	600x1000 BASE UNIT	2	0	BASE UNITS (6a)+(7a) PROVIDED IN LIEU
8	300x500 HIGH LEVEL WALL UNIT	1	1	
9	300x1000 HIGH LEVEL WALL UNIT	2	0	WALL UNIT (9a) PROVIDED IN LIEU
10	600x500 TALL UNIT	1	1	
11	400x600 BOILER ENCLOSURE UNIT	1	1	
12	600x600 BASE UNIT	1	1	ADDITIONAL BASE UNIT FOR FUTURE APPLIANCE
13	300x300 HIGH LEVEL WALL UNIT	1	1	ADDITIONAL WALL UNIT
6a	600x600 SINGLE BASE UNIT	1	1	
7a	1000x1000 CORNER BASE UNIT	1	1	CORNER UNIT IN LIEU OF (7) 1000 BASE UNIT
8a	300x600 HIGH LEVEL WALL UNIT	1	1	
9a	1000x1000 CORNER HIGH LEVEL WALL UNIT	1	1	CORNER UNIT IN LIEU OF (9) 1000 WALL UNIT
MINIMUM LENGTH OF WORK SURFACE (mm)		3500	3800	EXC. SINK/DRAINER, COOKER & FRIDGE / FREEZER

Rev: A	30-05-19	Employer's Agent Design Review Comments
rev:		date: amendment:
© Copyright Of This Drawing Remains With MDF Architecture, Unless Otherwise Stated		
Client: Toland House Properties Ltd.		
Project: Proposed Housing Development		
At Lands Approx. 150m North East Of		
159 Mount Eagles Avenue, Dunmurry, Belfast.		
Title: Scheme Drawings - Phase 3 -		
- HOUSE TYPE "F1" - Proposed Layouts -		
Scale: As shown @ A1	Date: February 2019	
Project No: 1527	Dwg No: PA/08	Rev: A

**MDF ARCHITECTURE**