



BLOCKS A1 & A2 - ELEVATION 01 (STREET ELEVATION)

BLOCK A1 - ELEVATION 02

BLOCK A1 - ELEVATION 03



BLOCKS A1 & A2 - ELEVATION 04 (RIVER FRONTAGE ELEVATION)

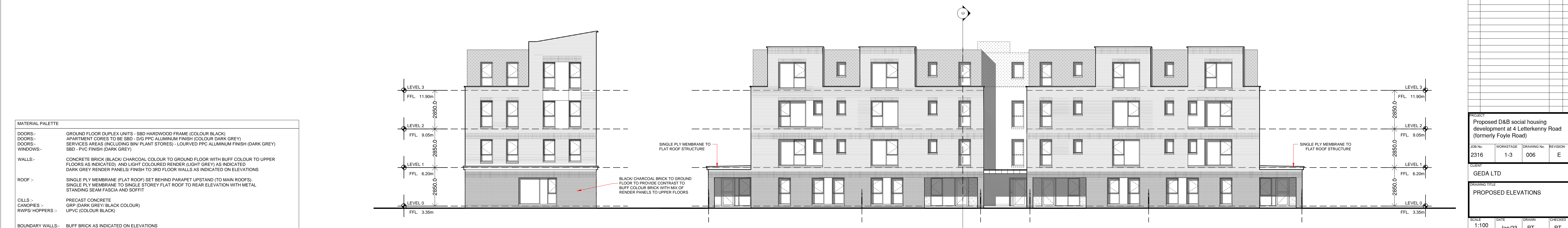
BLOCK A2 - ELEVATION 05

BLOCK A2 - ELEVATION 06



BLOCK B - ELEVATION 01 (FRONT ELEVATION)

BLOCK B - ELEVATION 02



BLOCK B - ELEVATION 03

BLOCK B - ELEVATION 04 (REAR - RIVER VIEW ELEVATION)

MATERIAL PALETTE

- DOORS: GROUND FLOOR DUPLEX UNITS - SBD HARDWOOD FRAME (COLOUR BLACK); APARTMENT CORES TO BE SBD - DG PPC ALUMINIUM FINISH (COLOUR DARK GREY); SERVICES AREAS (INCLUDING BIN/PLANT STORES) - LOURED PPC ALUMINIUM FINISH (DARK GREY); SBD - PVC FINISH (DARK GREY)
- WINDOWS: CONCRETE BRICK (BLACK CHARCOAL COLOUR TO GROUND FLOOR WITH BUFF COLOUR TO UPPER FLOORS AS INDICATED) AND LIGHT COLOURED RENDER (LIGHT GREY) AS INDICATED; DARK GREY RENDER PANELS/ FINISH TO 3RD FLOOR WALLS AS INDICATED ON ELEVATIONS
- WALLS: SINGLE PLY MEMBRANE (FLAT ROOF) SET BEHIND PARAPET UPSTAND (TO MAIN ROOFS); SINGLE PLY MEMBRANE TO SINGLE STOREY FLAT ROOF TO REAR ELEVATION WITH METAL STANDING SEAM FASCIA AND SOFFIT
- ROOF: PRECAST CONCRETE GRP (DARK GREY/BLACK COLOUR) UPVC (COLOUR BLACK)
- CILLS: GALVANISED METAL RAILINGS AS INDICATED ON ELEVATIONS
- CANOPES: (NOTE ALL METAL GATES/RAILINGS/WALLSTRAPS TO BE CONTRACTOR DESIGN ITEM)
- RWPS/ HOPPERS: BUFF BRICK AS INDICATED ON ELEVATIONS
- BOUNDARY WALLS- GALVANISED METAL RAILINGS AS INDICATED ON ELEVATIONS
- RAILINGS: (NOTE ALL METAL GATES/RAILINGS/WALLSTRAPS TO BE CONTRACTOR DESIGN ITEM)

NOTE: ALL GLAZING TO 1ST-3RD FLOORS TO ELEVATION 2 (BLOCK B) AND AS INDICATED TO BE OPAQUE/ OPAQUE TO PROVIDE PRIVACY AND TO BE TRANSLUCENT SO AS TO ADMIT DAYLIGHT INTO THE APARTMENTS.

NOTES

REVISIONS

REV.	DESCRIPTION	DATE	BY	CHK
A	Updated as per client feedback	15/03/23	15/03/23	
B	Block B elevation 01 and 02 updated	21/03/23	21/03/23	
C	AMENDMENTS AS PER PLANNING COMMENTS	27/03/23	27/03/23	
D	Block B elevation 01 and 02 updated	01/04/23	01/04/23	
E	Block B elevation 01 updated with revised window sizes and black composite contrasting brick added to ground floor as per planning approval comments received	01/04/23	01/04/23	

PROPOSED D&B social housing development at 4 Letterkenny Road (formerly Foyle Road)

JOB No. 2316 WORKSTAGE 1-3 DRAWING No. 006 REVISION E

CLIENT GEDA LTD

DRAWING TITLE PROPOSED ELEVATIONS

SCALE 1:100 AS DATE Jan/23 DESIGNER PT CHECKED PT

BOYD
THE BOYD PARTNERSHIP
CHARITABLE ARCHITECTS LLP